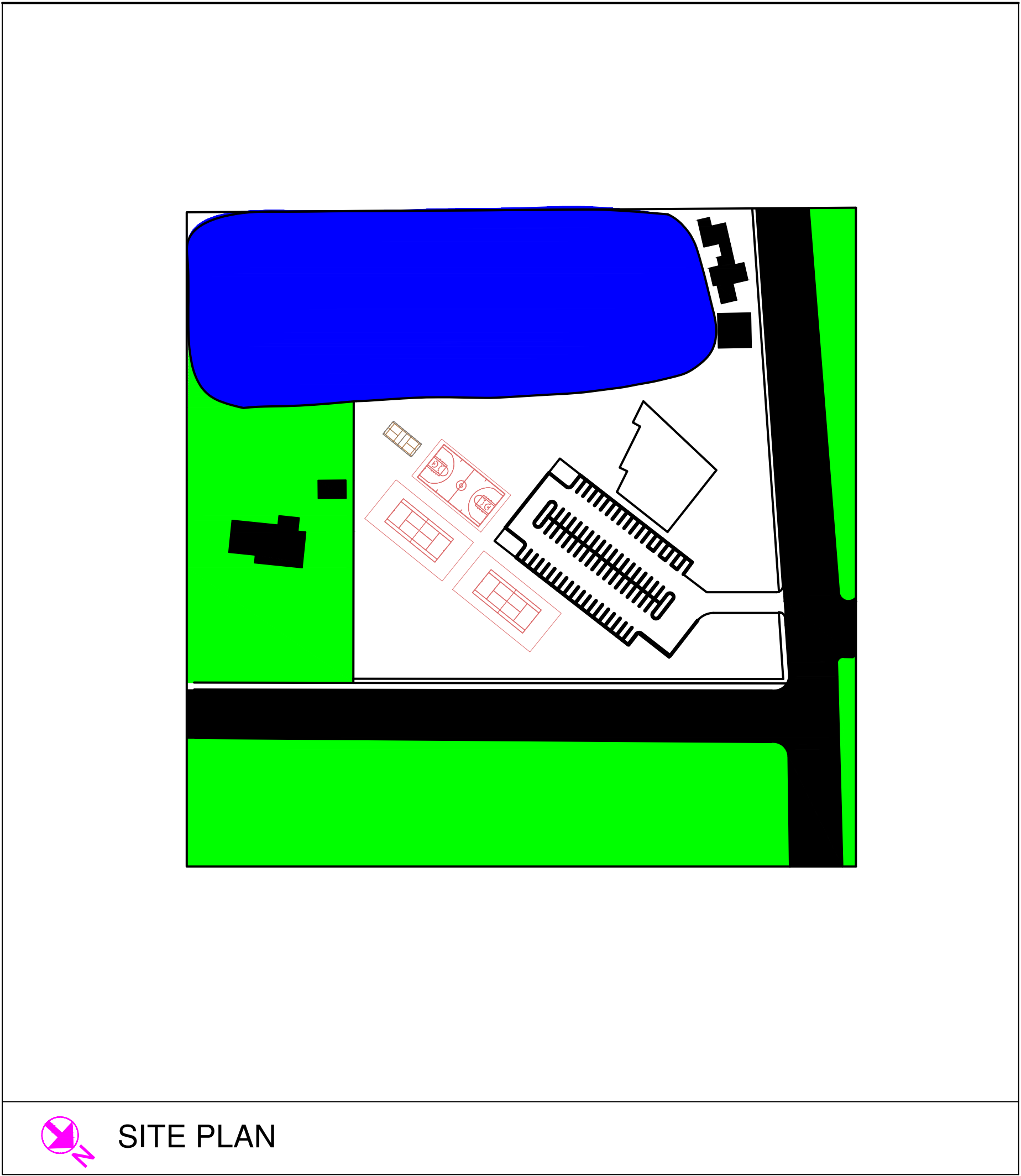


FITNESS CENTER & CANOE CLUB

2 GARNER LANE, BAY SHORE, NY

THE FITNESS CENTER & CANOE CLUB AT 2 GARNER LANE, BAY SHORE, NY IS A MODERN, SITE SPECIFIC RECREATIONAL COMPLEX DESIGNED TO INTEGRATE WELLNESS, OUTDOOR ACTIVITY, AND SUSTAINABLE DESIGN. THE PROJECT INCLUDES A STATE OF THE ART FITNESS FACILITY, A CANOE AND KAYAK STORAGE HUB, AND A CAFE WITH DIRECT ACCESS TO AN EXTENSIVE GREEN ROOF OVERLOOKING THE ADJACENT LAKE. OUTDOOR AMENITIES INCLUDE 2 TENNIS COURTS, A BASKETBALL COURT, AND A PICKLEBALL COURT, ALL ARRANGED TO ENHANCE THE NATURAL WATERFRONT SETTING. SUSTAINABLE STRATEGIES INCLUDING A GREEN ROOF AND ADDITIONAL ENVIRONMENTAL FEATURES, INCORPORATED TO SUPPORT THE SITES OVERALL ECOLOGICAL PERFORMANCE, AND REINFORCE A COHESIVE DESIGN CONCEPT. THE DEVELOPMENT ALIGNS WITH TOWN OF ISLIP ZONING, NEW YORK BUILDING CODE, AND SITE SPECIFIC WATERFRONT REGULATIONS WHILE CREATING AN INNOVATIVE, COMMUNITY FOCUSED RECREATIONAL DESTINATION.



	DRAWING SCHEDULE
C-000	COVER SHEET
A-001	GENERAL NOTES
A-002	FOUNDATION PLAN
A-003	FLOOR PLANS
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A-007	BUILDING DETAILS
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FITNESS CENTER & CANOE CLUB
2 GARNER LANE, BAY SHORE, NY

DIVJOT RAI

ARC 486
ARCHITECTURAL
DESIGN V

PROFESSOR
LOPICCOLO

NOVEMBER 25, 2025

COVER SHEET

A-000

GENERAL NOTES

COMMERCIAL (BUSINESS-1) & ASSEMBLY (A-5)

TOWN OF ISLIP - SITE PLAN SET

ALL WORK SHALL COMPLY WITH THE TOWN OF ISLIP CODE, THE NYS UNIFORM FIRE PREVENTION & BUILDING CODE (NYS BUILDING CODE), THE NYS EXISTING BUILDING CODE, AND THE NYS ENERGY CONSERVATION CONSTRUCTION CODE, INCLUDING ALL UPDATES. THESE CONSTRUCTION DOCUMENTS ARE PREPARED IN ACCORDANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE, THE 2020 ENERGY CONSERVATION CODE OF NEW YORK STATE, THE REFERENCED DESIGN STANDARD 2018 WFCM, AND NFPA 70. THE CONTRACTOR SHALL ENSURE FULL COMPLIANCE WITH ALL APPLICABLE CODES, STANDARDS, AND REGULATIONS.

OCCUPANCY CLASSIFICATIONS FOR THIS PROJECT ARE BUSINESS (B) AND ASSEMBLY (A-5) WITH ACCESSORY A-3/A-2 SPACES. THE CONTRACTOR SHALL ENSURE THAT ALL CONSTRUCTION, EGRESS COMPONENTS, FIRE-RESISTANCE RATINGS, AND LIFE-SAFETY SYSTEMS COMPLY WITH REQUIREMENTS FOR THESE OCCUPANCIES AND THAT ALL ASSEMBLY AREAS MEET THE APPLICABLE OCCUPANT LOAD, MEANS OF EGRESS, EXIT SIGNAGE, PANIC HARDWARE, AND EMERGENCY LIGHTING REQUIREMENTS UNDER THE NYS BUILDING AND FIRE CODES.

THE CONTRACTOR SHALL VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS. ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL AND THE TOWN OF ISLIP BUILDING DEPARTMENT BEFORE PROCEEDING.

ALL REQUIRED PERMITS, INSPECTIONS, AND APPROVALS SHALL BE OBTAINED FROM THE TOWN OF ISLIP BUILDING DEPARTMENT, ENGINEERING DIVISION, AND FIRE MARSHAL’S OFFICE PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL CALL NEW YORK 811 (DIG SAFETY NY) AT LEAST 48 HOURS BEFORE ANY EXCAVATION AND SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UNDERGROUND AND OVERHEAD UTILITIES.

ALL CONSTRUCTION RELATED TO ASSEMBLY OCCUPANCIES SHALL COMPLY WITH THE REQUIREMENTS FOR OCCUPANT LOAD, MEANS OF EGRESS, EXIT SIGNAGE, PANIC HARDWARE, FIRE EXTINGUISHERS, AND EMERGENCY LIGHTING. FIRE PROTECTION SYSTEMS, INCLUDING FIRE ALARMS, REQUIRED FIRE EXTINGUISHERS, AND EMERGENCY/EXIT LIGHTING, SHALL MEET NYS CODE REQUIREMENTS AND SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS AND AS REQUIRED BY THE TOWN FIRE MARSHAL.

ALL ACCESSIBLE ROUTES, ENTRANCES, RESTROOMS, PARKING, SIDEWALKS, RIGHTS-OF-WAY, AND BUILDING ELEMENTS SHALL COMPLY WITH ADA STANDARDS AND THE NYS BUILDING CODE ACCESSIBILITY PROVISIONS.

PARKING LAYOUT, DRIVE AISLES, LOADING AREAS, FIRE LANES, CURBING, AND ON-SITE CIRCULATION SHALL CONFORM TO THE TOWN OF ISLIP ZONING CODE, INCLUDING DIMENSIONAL MARKINGS, ADA SIGNAGE, AND STRIPING REQUIREMENTS. BICYCLE PARKING, CANOE/KAYAK LOADING ZONES, AND FITNESS-RELATED EQUIPMENT AREAS SHALL BE INSTALLED AS SHOWN AND MUST MEET ALL APPLICABLE TOWN STANDARDS.

LANDSCAPING, SCREENING, PLANTING BUFFERS, AND LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH THE TOWN OF ISLIP STANDARDS AND THE APPROVED SITE PLAN. ANY SUBSTITUTIONS REQUIRE APPROVAL FROM THE TOWN. ALL LANDSCAPING MUST BE FULLY INSTALLED PRIOR TO CERTIFICATE OF OCCUPANCY.

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. STORMWATER INFRASTRUCTURE SHALL COMPLY WITH TOWN OF ISLIP AND NYSDEC REQUIREMENTS. SITE DRAINAGE SHALL PROVIDE THE REQUIRED MINIMUM 2” RAINFALL RETENTION AND MAINTAIN A MINIMUM 2’ SEPARATION TO GROUNDWATER. DRAINAGE RINGS, LEACHING POOLS, CATCH BASINS, AND ALL STORMWATER STRUCTURES SHALL BE INSTALLED AT SHOWN ELEVATIONS AND VERIFIED BY THE CONTRACTOR.

GRADING SHALL ENSURE POSITIVE DRAINAGE AWAY FROM STRUCTURES AND TOWARD APPROVED DRAINAGE FACILITIES. ANY CHANGES TO THE PROPOSED GRADING PLAN REQUIRE REVIEW AND APPROVAL FROM THE TOWN ENGINEER.

THE CONTRACTOR SHALL MAINTAIN SAFE ACCESS TO ADJACENT PROPERTIES AND PUBLIC RIGHTS-OF-WAY. ANY ROAD, SIDEWALK, OR LANE CLOSURES REQUIRE PRIOR TOWN APPROVAL. CONSTRUCTION DEBRIS SHALL BE CONTAINED AND REMOVED REGULARLY. DUST CONTROL MEASURES SHALL BE IMPLEMENTED AS DIRECTED BY THE TOWN OF ISLIP.

ALL MATERIALS, WORKMANSHIP, AND INSTALLATION METHODS SHALL COMPLY WITH THE TOWN OF ISLIP STANDARD DETAILS, NYS DOT STANDARDS (WHERE APPLICABLE), AND MANUFACTURER RECOMMENDATIONS.

DAMAGE TO PUBLIC INFRASTRUCTURE (SIDEWALKS, CURBS, PAVEMENT, DRAINAGE STRUCTURES, UTILITIES, ETC.) CAUSED BY CONSTRUCTION SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR’S EXPENSE AND TO TOWN STANDARDS.

UTILITY COORDINATION IS THE RESPONSIBILITY OF THE CONTRACTOR, INCLUDING REQUIRED SERVICE UPGRADES, RELOCATIONS, OR NEW CONNECTIONS WITH PSEG, NATIONAL GRID, SCWA, AND COMMUNICATIONS PROVIDERS. ALL UTILITIES SHALL BE PLACED UNDERGROUND UNLESS OTHERWISE APPROVED.

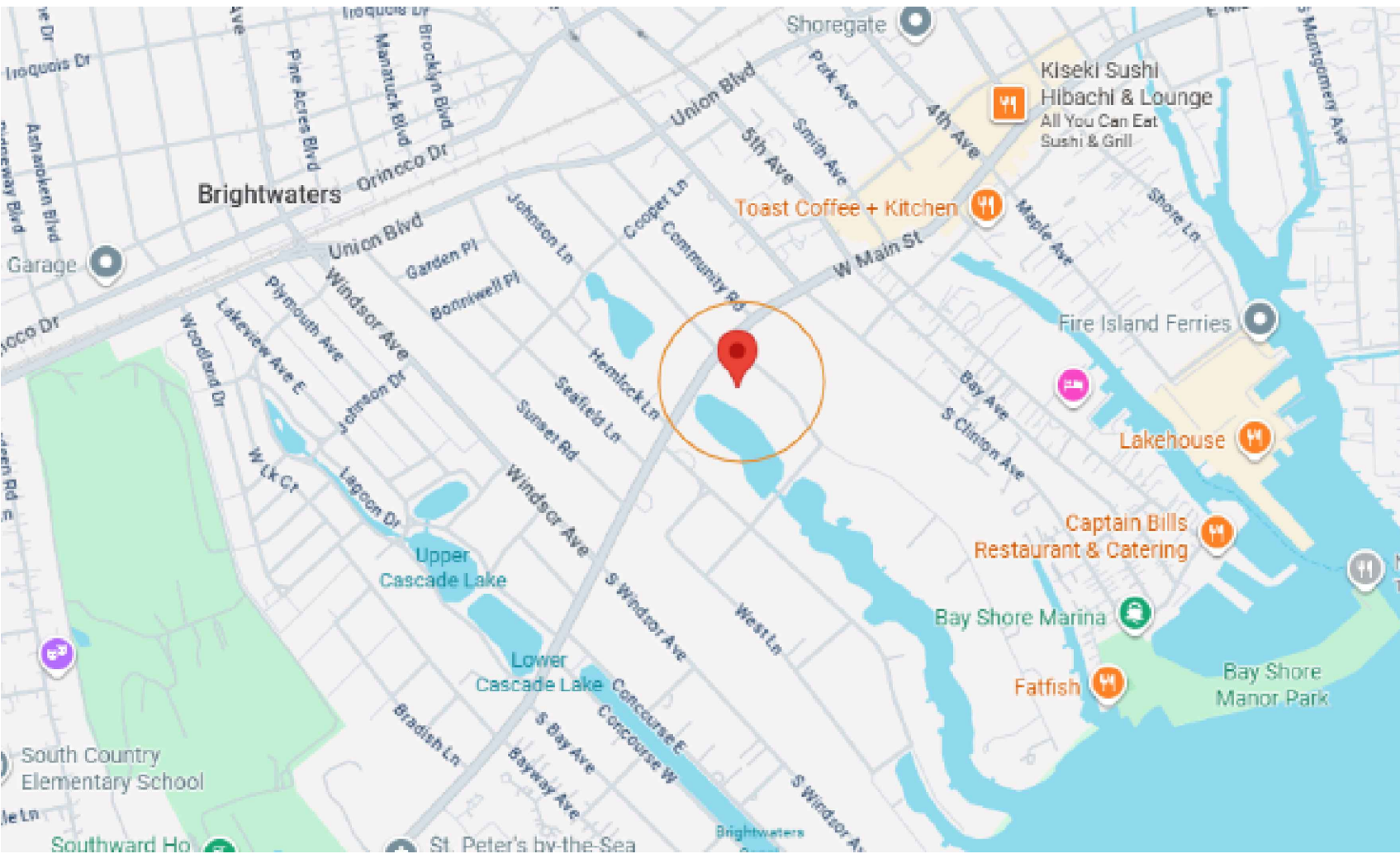
ASSEMBLY OCCUPANCY SPACES SHALL MEET ALL VENTILATION, HVAC, AND INDOOR AIR-QUALITY REQUIREMENTS PER NYS MECHANICAL AND ENERGY CODES. PRIOR TO CERTIFICATE OF OCCUPANCY, THE CONTRACTOR SHALL ENSURE ALL FIRE ALARMS AND LIFE-SAFETY SYSTEMS ARE TESTED AND CERTIFIED, ALL STRIPING, SIGNAGE, LIGHTING, AND ADA ELEMENTS ARE INSTALLED, ALL STORMWATER SYSTEMS ARE CLEANED AND FUNCTIONAL, AND ALL LANDSCAPING IS COMPLETE.

TO THE BEST OF THE DESIGN PROFESSIONAL’S KNOWLEDGE, BELIEF, AND JUDGMENT, THESE CONSTRUCTION DOCUMENTS ARE IN COMPLIANCE WITH THE 2020 ENERGY CONSERVATION CODE OF NEW YORK STATE.

NO CHANGES, DELETIONS, OR SUBSTITUTIONS TO THESE PLANS ARE PERMITTED WITHOUT WRITTEN APPROVAL FROM THE DESIGN PROFESSIONAL AND THE TOWN OF ISLIP.

SITE INFORMATION :

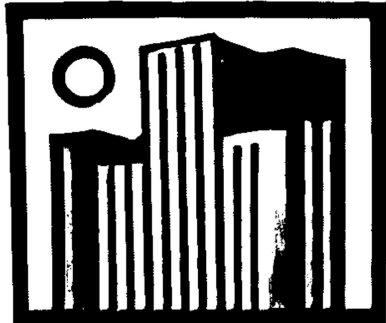
REQUIREMENTS	ZONE - BUS1	PROPOSED
MIN FRONT YARD	10 FT CORNER-STREET FACING SIDES	10 FT
MIN SIDE YARD	10 FT	10 FT
MIN REAR YARD	15 FT 25 FT SETBACK FROM PROPERTY LINE ON LAKE AND NEAR RESIDENTIAL PROPERTY	40 FT
MAX HEIGHT	35 FT	35 FT
MAX FAR	0.40	0.40
LOT AREA	4.8 ACRES	3.7 ACRES



SITE LOCATION PLAN



SITE AERIAL MAP



FITNESS CENTER & CANOE CLUB
2 GARNER LANE, BAY SHORE, NY

DIVJOT RAI

ARC 486
ARCHITECTURAL
DESIGN V

PROFESSOR
LOPICCOLO

NOVEMBER 25, 2025

GENERAL NOTES

A-001



RAI DESIGNED
— ARCHITECTURE —

FITNESS CENTER & CANOE CLUB
2 GARNER LANE, BAY SHORE, NY

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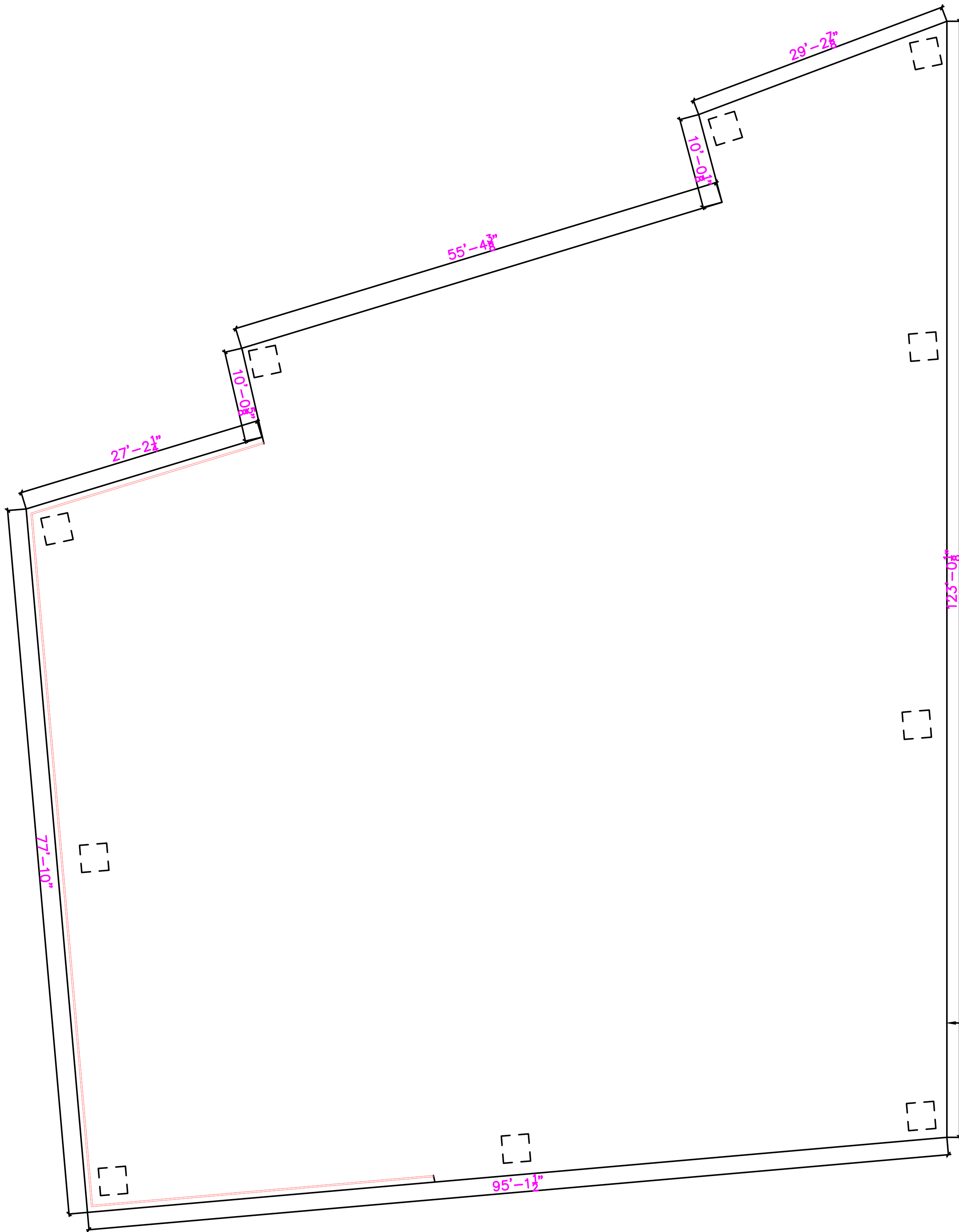
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FOUNDATION PLAN

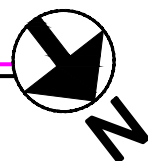
A-002

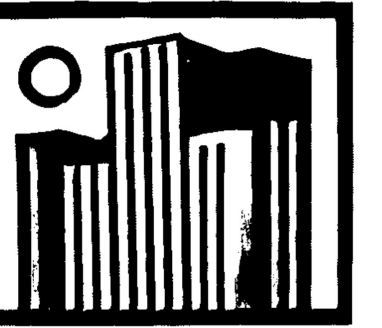


1

FOUNDATION PLAN

SCALE: 1" = 40'-0"





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— ARCHITECTURE —

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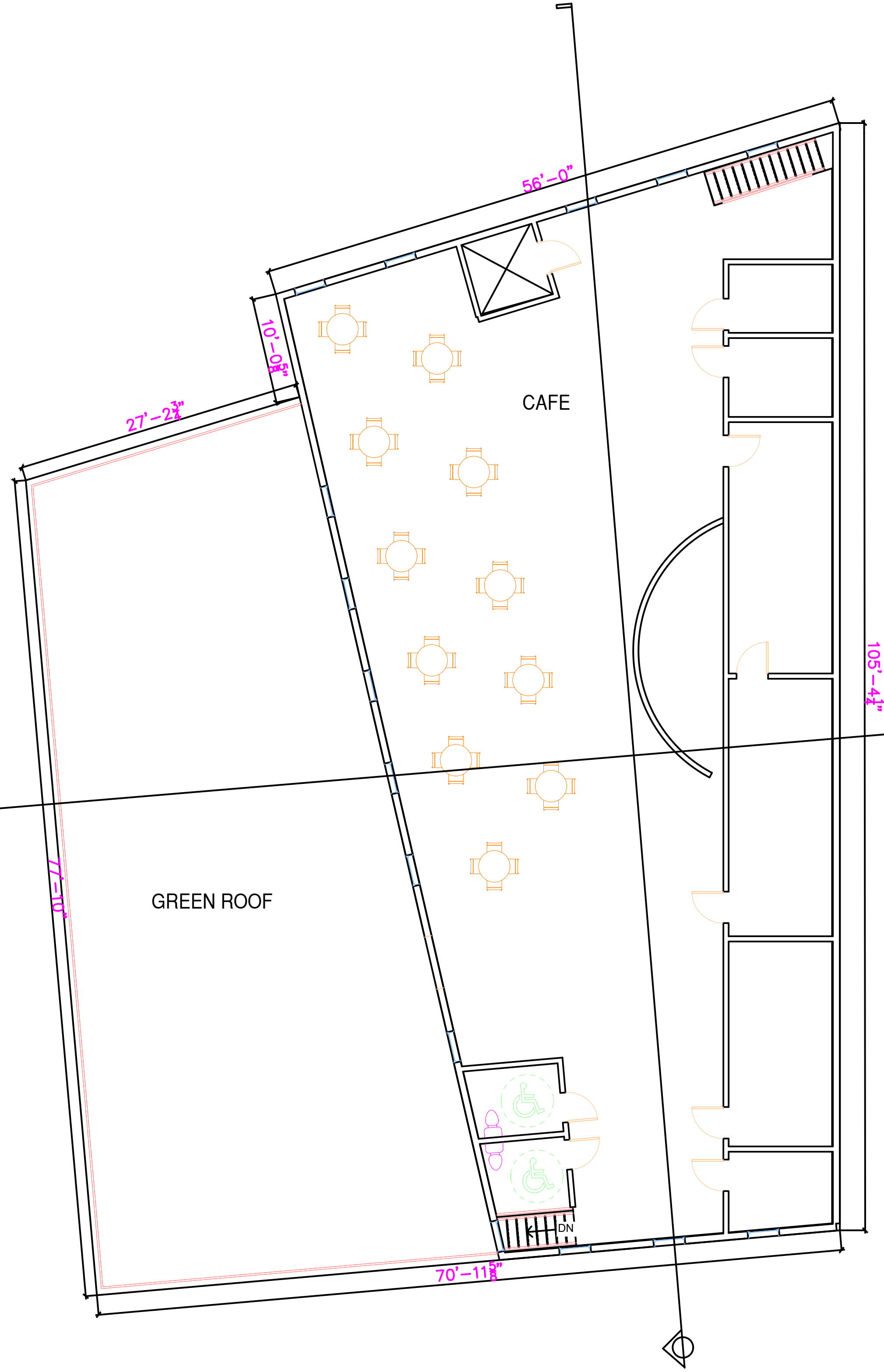
FLOOR PLAN

A-003



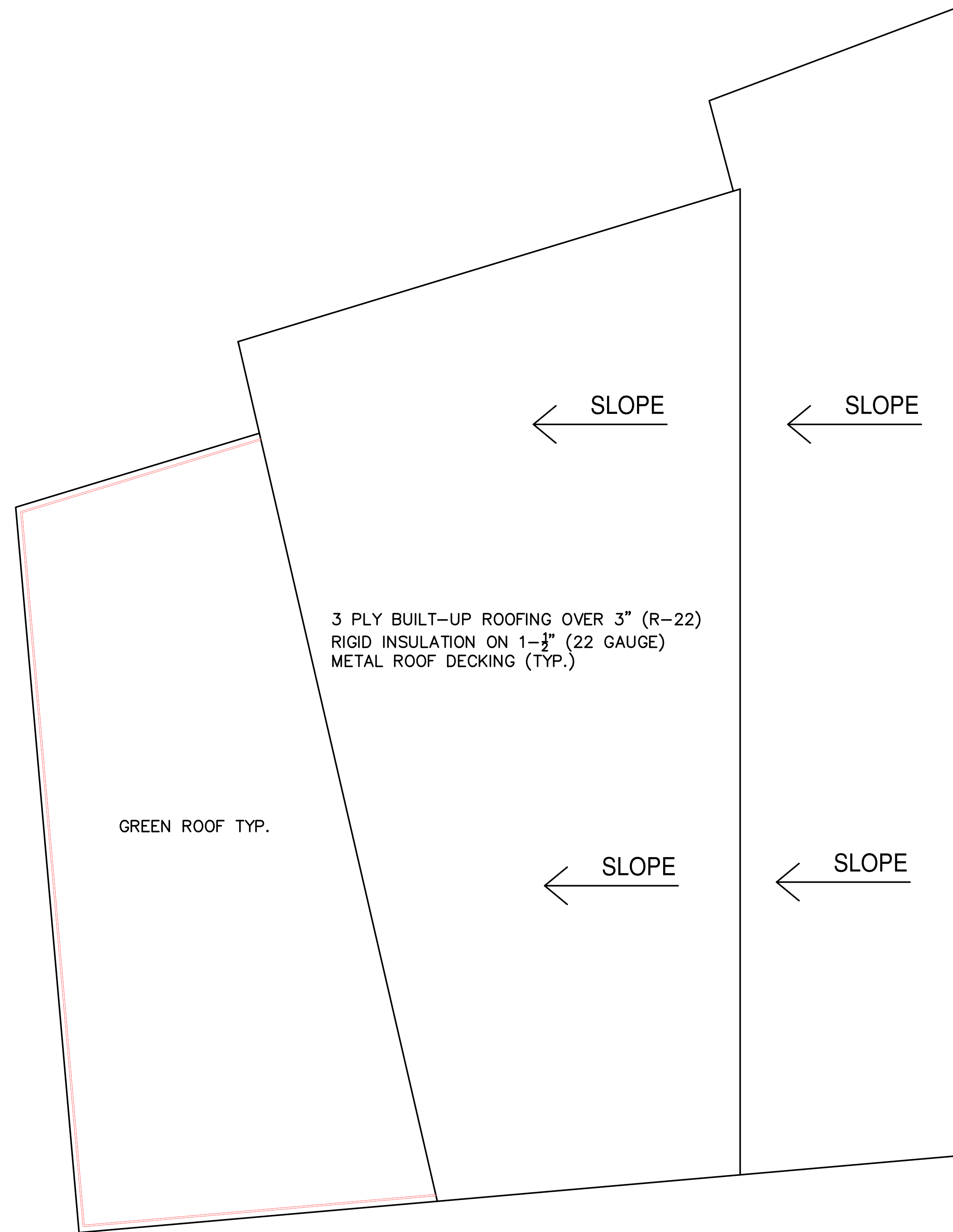
2 FIRST FLOOR PLAN

SCALE: 1" = 40'-0"



2 SECOND FLOOR PLAN

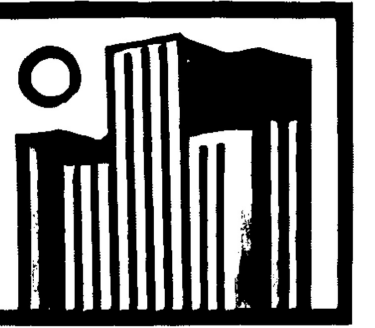
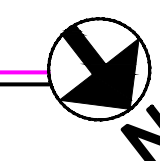
SCALE: 1" = 40'-0"



3

ROOF PLAN

SCALE: 1" = 40'-0"



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ROOF PLAN

A-004

FITNESS CENTER & CANOE CLUB
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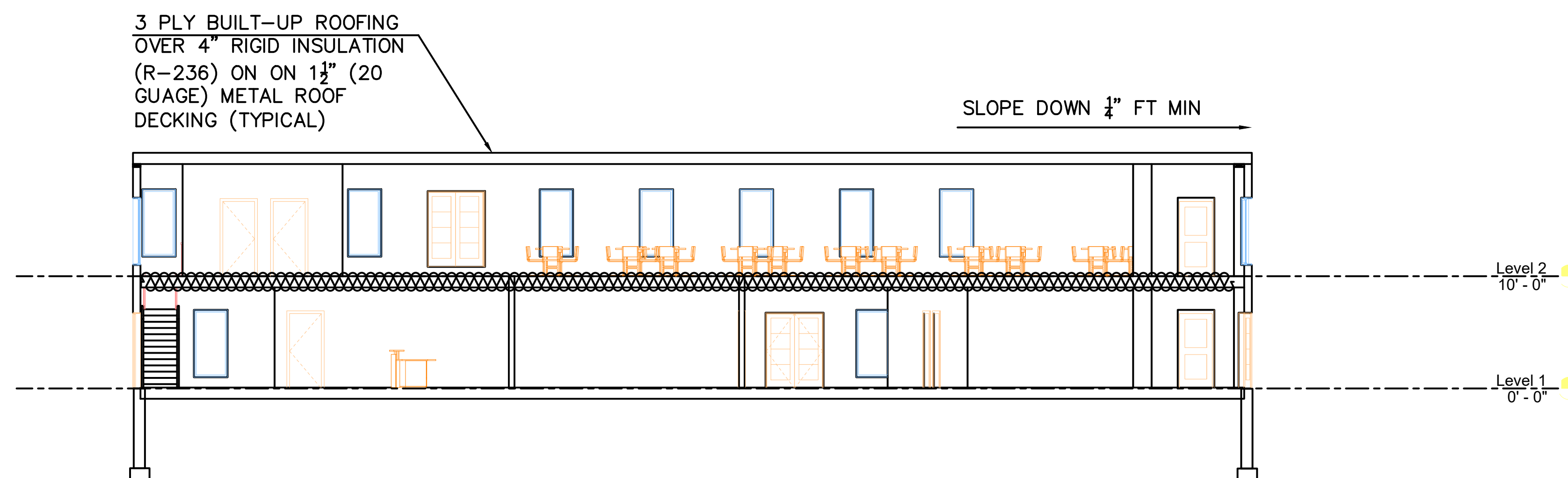
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SECTION PLAN

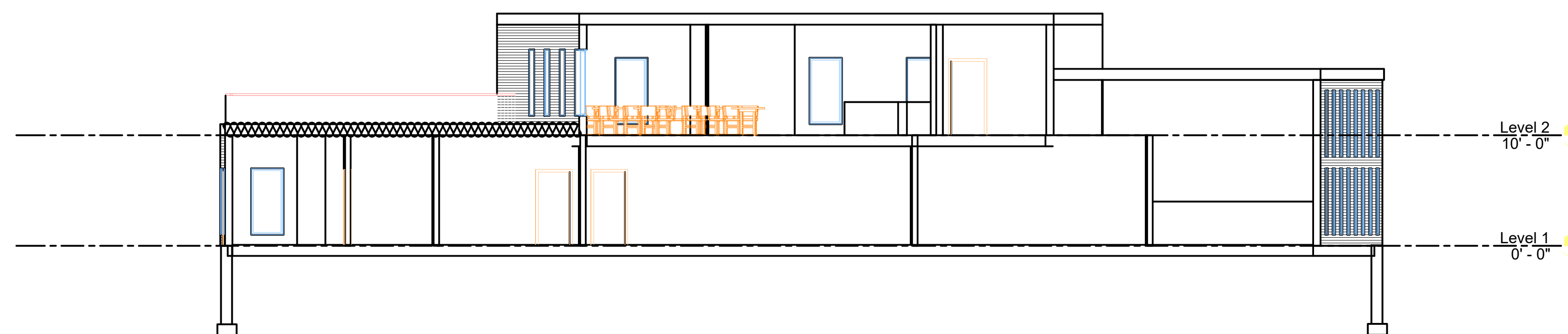
A-005



4

LONGITUDINAL SECTION

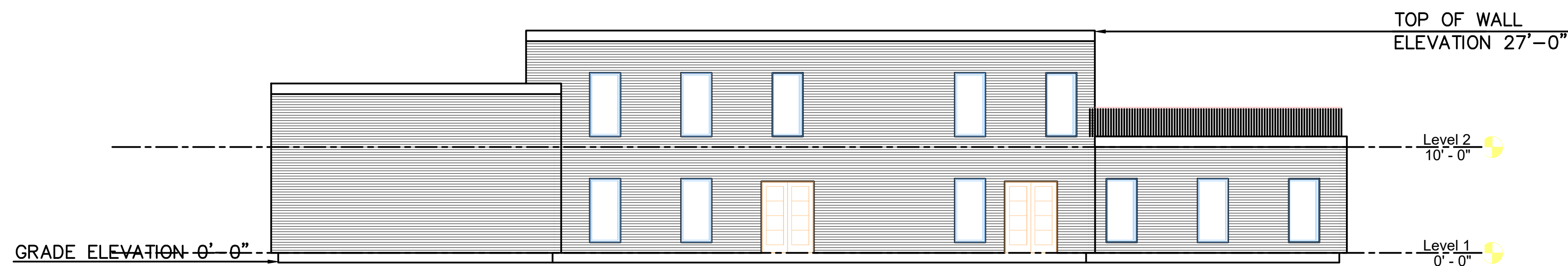
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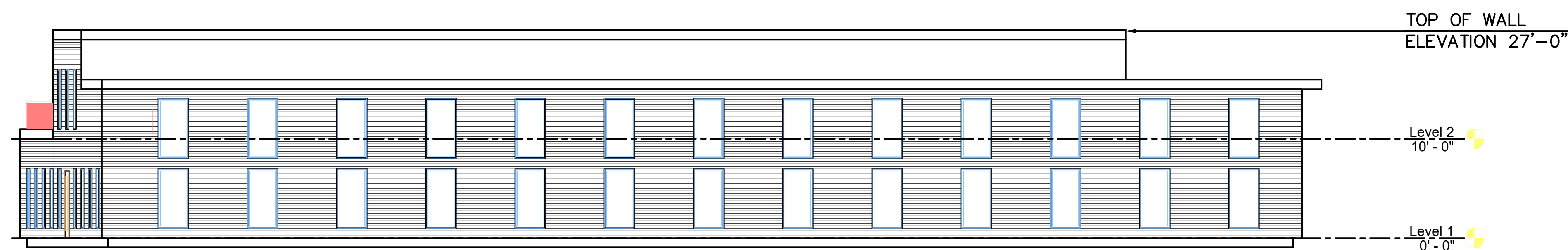
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CROSS SECTION

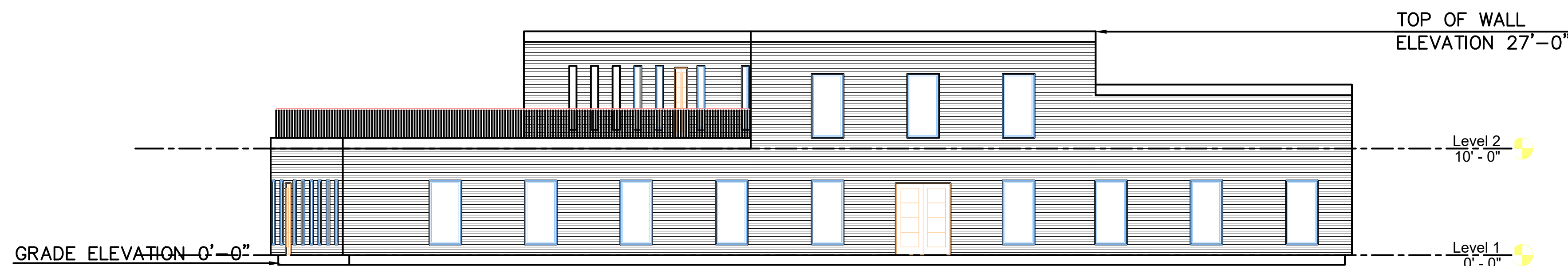
SCALE: 1" = 40'-0"



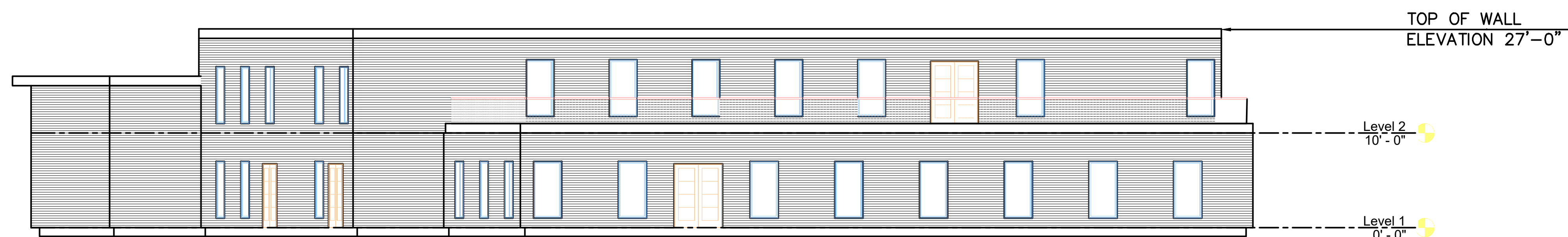
6 NORTH ELEVATION PLAN
SCALE: 1" = 40'-0"



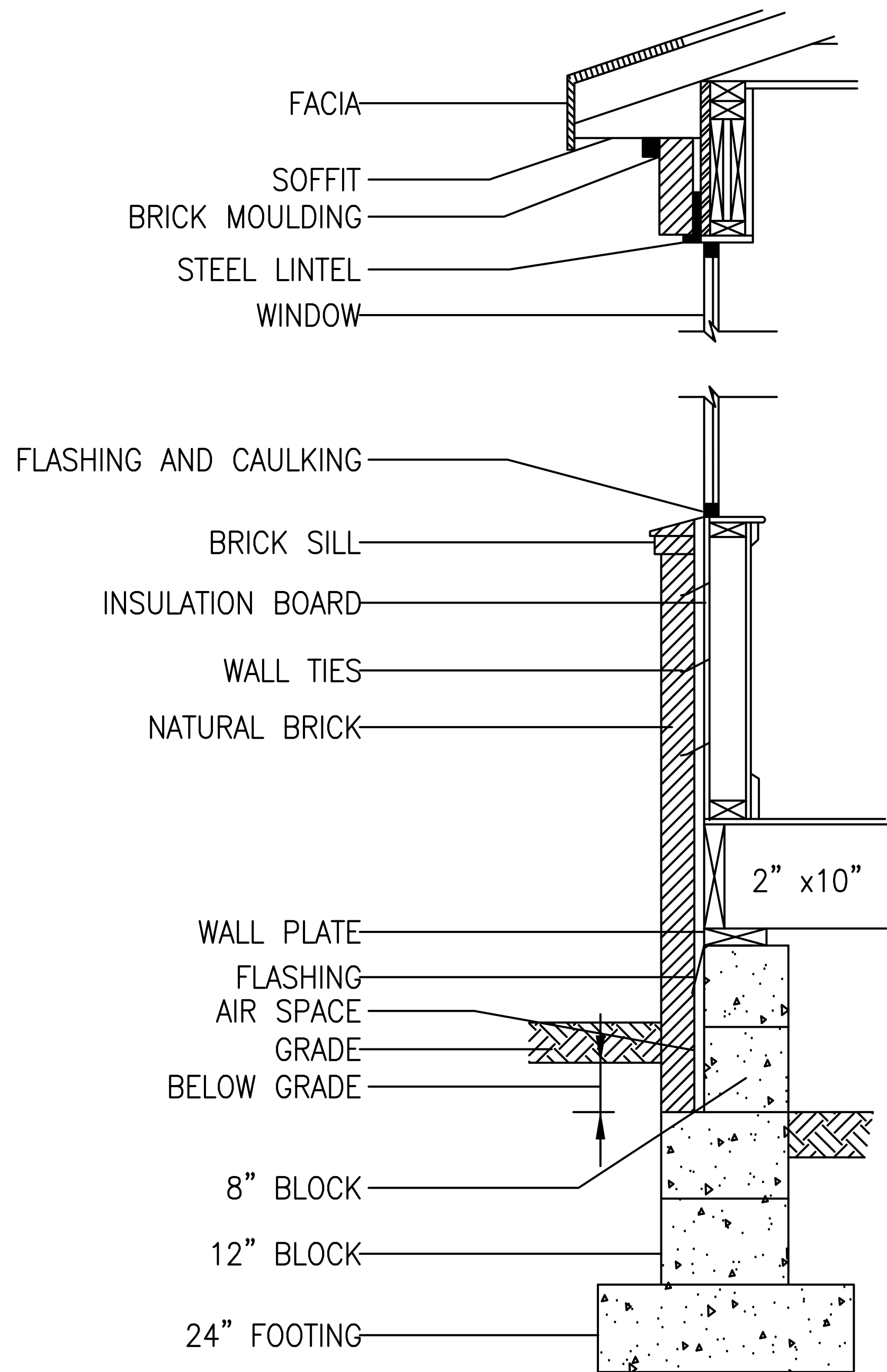
7 EAST ELEVATION PLAN
SCALE: 1" = 40'-0"



8 SOUTH ELEVATION PLAN
SCALE: 1" = 40'-0"



9 WEST ELEVATION PLAN
SCALE: 1" = 40'-0"



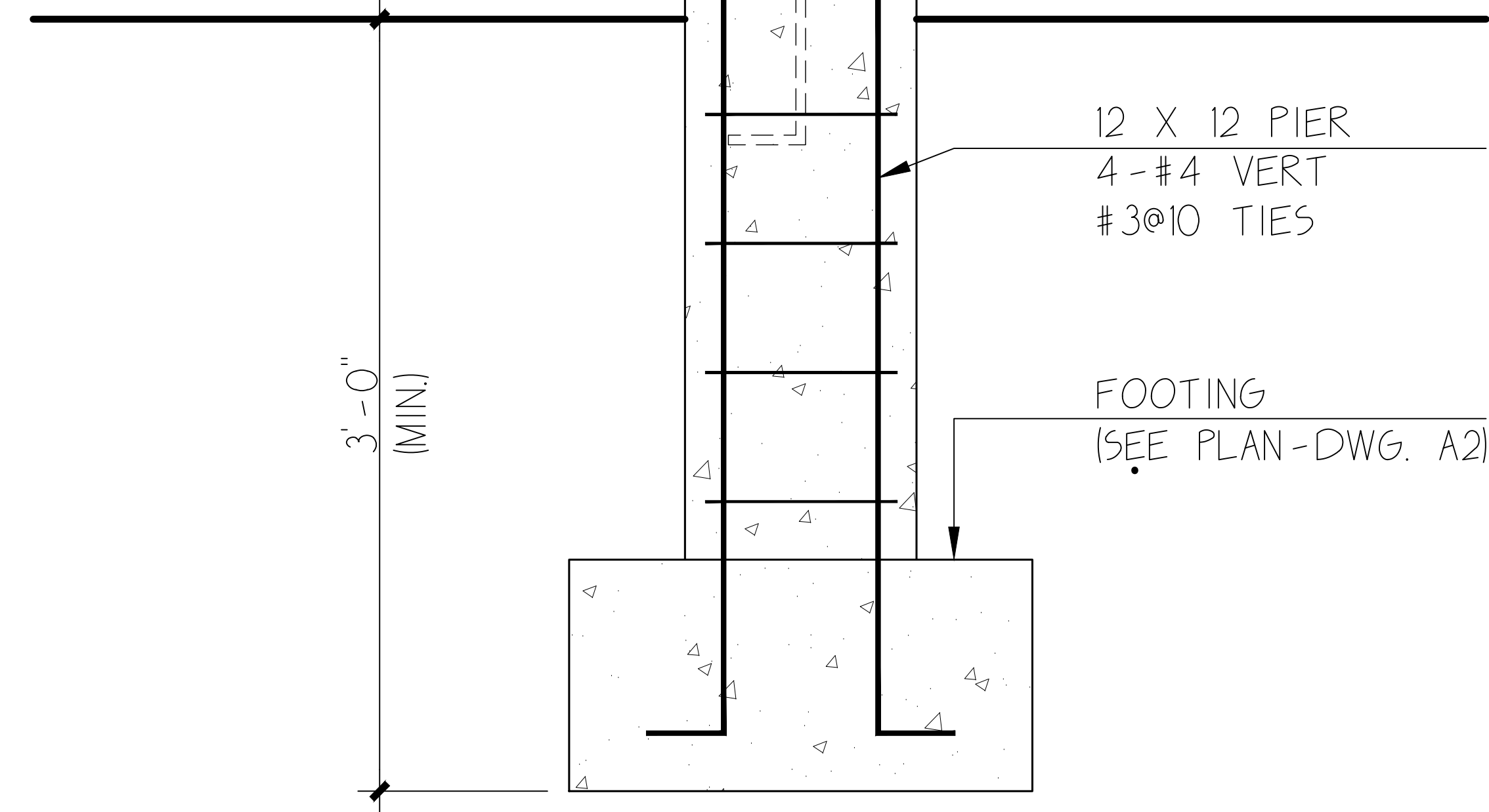
10 BRICK WALL DETAIL

P.T. DECK JOISTS
(SEE FOUNDATION PLAN)

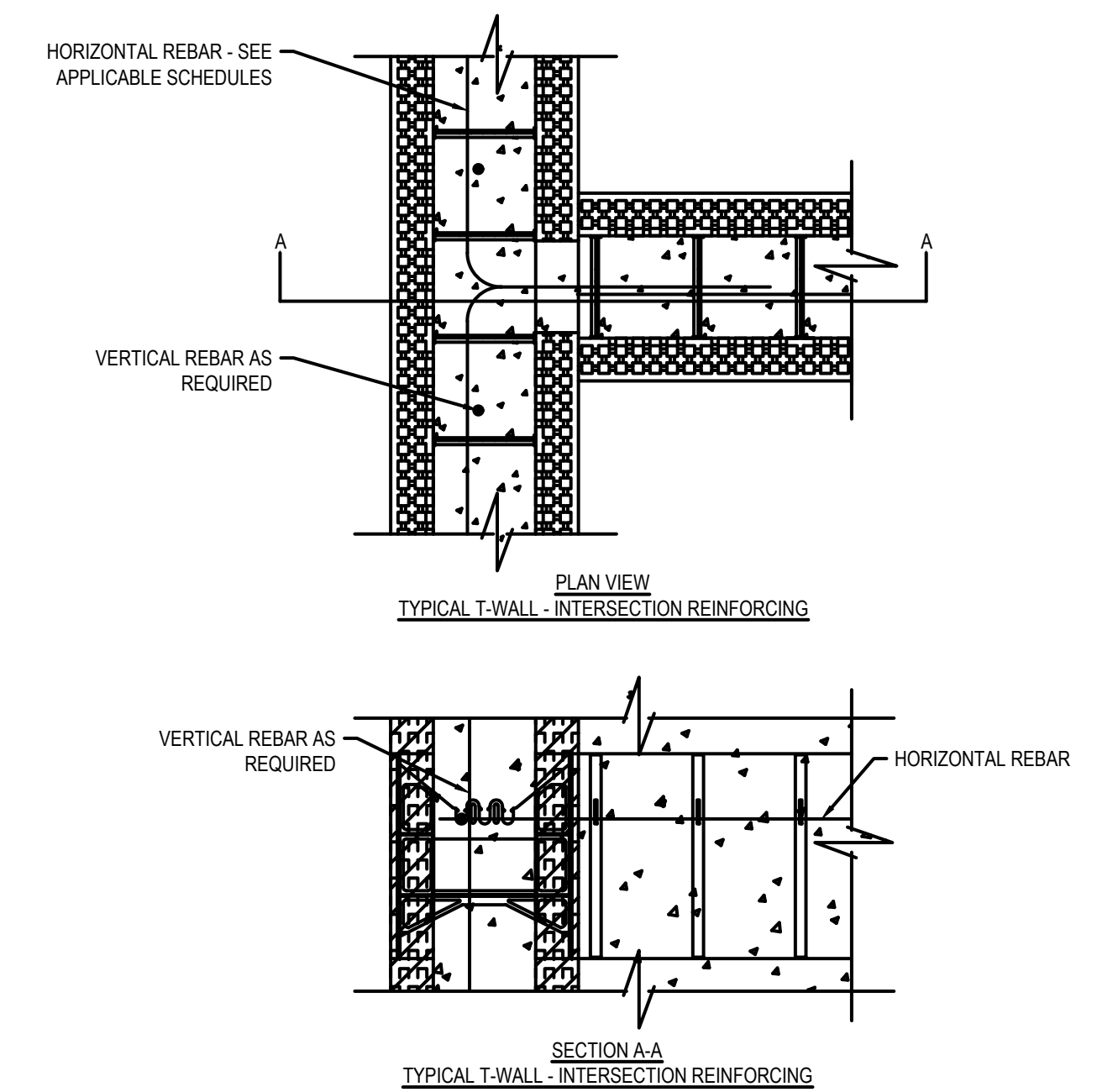
PROVIDE TRIPLE-ZINC
COATED 'SIMPSON' H2.5
TO EACH JOIST

P.T. LOW GIRDER
(SEE FOUNDATION PLAN)

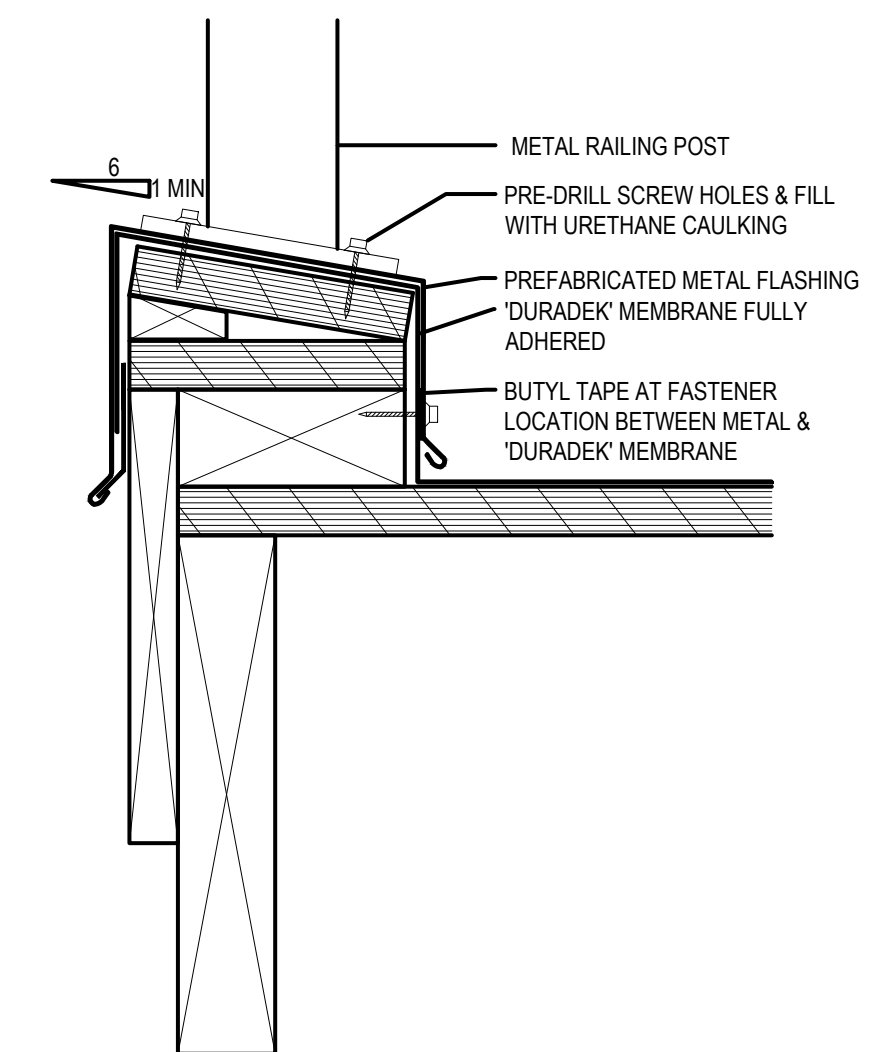
12" X 12" POURED
CONCRETE PIER
ON 24" X 24" X 12"
POURED CONCRETE
FOOTING (TYPICAL)



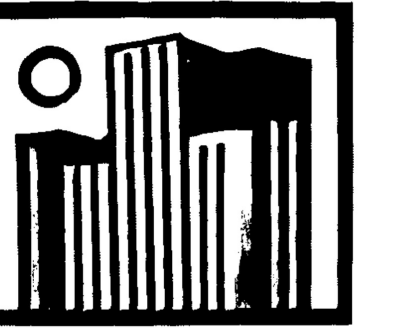
11 FOUNDATION FOOTING DETAIL



16 WALL DETAIL



12 ROOFTOP DETAIL



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BUILDING
DETAILS

A-007